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5645 Riggins Mill Road
Dry Branch, GA 31020
P. 478-751-3500
F. 478-751-3465

*An Equal Opportunity
Employer & Service Provider*

March 26, 2024
Notice of Timber Sale
Meriwether County

Dear Timber Buyer:

The Georgia Forestry Commission will accept bids until 11:00 a.m. on Wednesday, April 24, 2024, for the unit sale (per ton by product) of pine on 54 acres of Department of Natural Resources (DNR) property located on Sprewell Bluff WMA in Meriwether County.

The sale area is located approximately eleven (11) miles west of Thomaston, GA on Sprewell Bluff WMA. Location is further described by Delorme Gazetteer page 33, block F7.

This timber sale consists of 54 acres of mixed pine and hardwood to be thinned. For details of this harvest please see the attached "Timber Harvest Plan" within the timber harvest contract.

Our estimate of total timber volume is 3,431 tons. Volume is not guaranteed, and product breakdown will not be announced. We encourage interested buyers to make their own determination of product breakdown.

The sale is accessed from Chalybeate Springs Road, via approximately five miles of dirt road. The dirt road is owned by the landowners whose property it traverses. Thus, it will be the buyer's responsibility to maintain this dirt access road to Georgia Forestry BMP standards and to ensure there are no issues with the owners to whom the road belongs. Also, there is an attached road access agreement for the gated private property, the Hendricks Tract, that must be adhered to for this contract, as well. Please make sure you read it carefully and understand its requirements. This road agreement is separate from the five miles of dirt road mentioned above.

Bids may be brought to the opening site or mailed to the attention of Ben Hammond, Georgia Forestry Commission 1055 East Whitehall Rd, Athens, GA 30605. Bids will be publicly opened at 11:00 a.m. on Wednesday, April 24, 2024 at the Georgia Forestry Commission's Upson County Unit located at 2394 Yatesville Highway, Thomaston, GA 30286 (see attached bid opening location map). No bids will be accepted after 11:00 a.m.

Bid Requirements:

1. All bids must be submitted on the timber bid form provided with this notice, signed and sealed, and must have "Sprewell Bluff WMA FY24 #11538 Bid Sale" written on front of envelope. Per ton price and wood specifications **are required** for each product on bid form. Specifications should include minimum top and butt size, minimum length or measured lengths, and, if appropriate, quality specifications (for example, knot size, sweep, etc.). If a box on bid form is not applicable, indicate as "N/A." **Incomplete bid forms will be invalid and will not be given consideration in the bid process.**
2. Mailed bids will be accepted and shall be clearly marked "Sprewell Bluff WMA FY24 #11538 Bid Sale" on front of envelope and must arrive on the day before the sale. Phone or fax bids will not be accepted.
3. Bid forms must be signed in order to be accepted.
4. A check made payable to the **Georgia Forestry Commission** in the amount of \$5,000.00 must be enclosed in the sealed bid. Checks of unsuccessful bidders will be returned following bid opening. The successful bidder's check will be held in escrow and credited towards the performance bond. The performance bond amount will be \$5,000.00 or 10% of the total sale value, whichever is greater. Any additional performance bond money will be due at contract signing.

Continued...

A sample contract, bid form and maps of the sale area are included with this timber sale notice. Also attached is the “Timber Harvest Inspection” form to be used by a GA DNR representative when making periodic inspections of harvesting operations. **Notice: Be sure to read through the “Timber Harvest Contract.”** Contract signing and receipt of advance payment will occur no later than thirty (30) days from bid opening date. Additional road work that may be required must be approved by GA DNR and will be the buyer’s responsibility. For questions regarding the bid process contact Ben Hammond, GFC, at 706-612-3729. For questions specific to the sale area contact Forrest Buckner, GA DNR, at 404-987-4112.

The Georgia Forestry Commission reserves the right to reject any and all bids.

Sincerely,

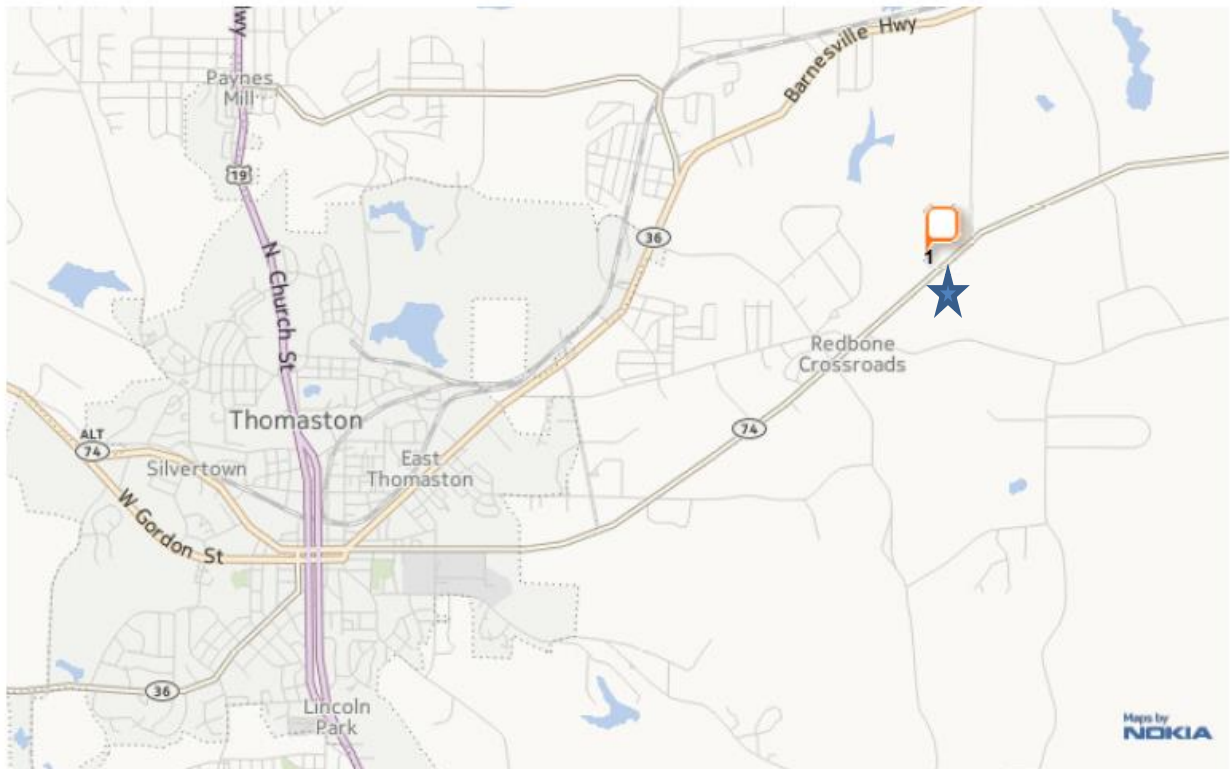
Ben Hammond

Ben Hammond, RF
Staff Forester

Sprewell Bluff WMA
FY24 Sale #11538
Bid Opening Location Map
April 24, 2024
11:00 AM

2394 Yatesville Hwy, Thomaston, GA
30286-1530

GA Forestry Commission
Upton Unit Office



GEORGIA FORESTRY COMMISSION - TIMBER BID FORM
Sprewell Bluff WMA FY24 Sale ID# 11538

COMPANY NAME: _____ FED. ID # OR S.S. #: _____

COMPANY REPRESENTATIVE: _____ TELEPHONE #: _____

ADDRESS: _____

Products	Price Per Ton	Minimum Top Size	Minimum Butt Size	Min. or Meas. Length	Quality Specs.
Pine pulp-wood					
Pine top-wood					
Pine chip & saw					
Pine saw timber					
Hardwood pulp-wood					
Hardwood saw timber					

I understand that this is a unit (per ton per product) timber sale. Per ton price and wood specifications have been entered for each product listed on this bid form. In order to validate this bid, a bid deposit in the form of a \$5,000.00 check, made payable to the Georgia Forestry Commission, is included. Checks of unsuccessful bidders will be returned. Successful bidder's check will be held in escrow and credited towards the performance bond.

THE GEORGIA FORESTRY COMMISSION RESERVES THE RIGHT TO REJECT ANY AND ALL BIDS.

By: _____ Date: _____

**GEORGIA DEPARTMENT OF NATURAL RESOURCES
TIMBER HARVEST CONTRACT
FOR
STATE OWNED LANDS
SPREWELL BLUFF WMA FY24 THINNING
Sale ID# 11538**

STATE OF GEORGIA
COUNTY OF Meriwether

This **TIMBER HARVEST CONTRACT** (the “**CONTRACT**”) is made and entered into by and between the **GEORGIA DEPARTMENT OF NATURAL RESOURCES**, 2065 U.S. Highway 278 SE, Social Circle, GA 30025, hereinafter referred to as the “**SELLER**” and _____ of _____ hereinafter referred to as the “**BUYER**”.

WITNESSETH:

ARTICLE I. Obligations of the SELLER:

1. SELLER agrees to sell to the BUYER all those forest products to be harvested as defined here, and hereby represents and warrants it has good and unencumbered title to such timber:
 - a) Location and Description of Sale Area
The timber sale area, approximately 54 acres, is located approximately eleven (11) miles west of Thomaston, Georgia on Sprewell Bluff WMA. The timber sale area consists of 54 acres of mixed pine and hardwood. All sale boundaries are marked in blue paint. The specific site is designated on the attached maps as Exhibits “A”, “B” and “C” which are incorporated herein by reference and made part of this CONTRACT and which are herein collectively referred to as the “PROPERTY.”
 - b) Timber shall be harvested according to “Timber Harvest Specifications” below.
2. SELLER agrees to allow the BUYER ingress and egress across and upon the PROPERTY for the purpose of carrying out forest products harvesting identified in this CONTRACT.
3. SELLER shall in no way assume any responsibility for damage to equipment belonging to the BUYER or injury to persons employed by the BUYER or his/her agent; said responsibility being totally assumed by the BUYER.
4. The parties agree that the recommendations relating to forest products harvesting known as BEST MANAGEMENT PRACTICES (“BMPs”) and referenced in the Georgia Forestry Commission (GFC) publication “Georgia’s Best Management Practices for Forestry” are binding upon and will be adhered to by the BUYER in accomplishing any and all forest products harvesting identified by this CONTRACT.

ARTICLE II. Obligations of the BUYER:

1. Agrees to pay the SELLER at the rate of
\$___ per ton for pine pulp wood (wood specs: ___ inch minimum top, ___ inch minimum butt, ___ feet minimum length)

Buyer’s Initials _____ Seller’s Initials _____
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\$____ per ton for pine top wood (wood specs: ____ inch minimum top, ____ inch minimum butt, ____ feet minimum length)

\$____ per ton for pine chip & saw (wood specs: ____ inch minimum top, ____ inch minimum butt, ____ feet minimum length)

\$____ per ton for pine saw timber (wood specs: ____ inch minimum top, ____ inch minimum butt, ____ feet minimum length)

\$____ per ton for hardwood pulp wood (wood specs: ____ inch minimum top, ____ inch minimum butt, ____ feet minimum length)

\$____ per ton for hardwood saw timber (wood specs: ____ inch minimum top, ____ inch minimum butt, ____ feet minimum length)

for the forest products designated for harvesting in ARTICLE I of this CONTRACT. Payment for forest products shall be made by the BUYER to the **Georgia Forestry Commission** as follows: \$_____, 50% of the estimated total sale price, (the "ADVANCE"), based on the BUYER's bid for the volumes and products offered in ARTICLE I, is to be paid at the time of CONTRACT execution. The parties agree that this payment is nonrefundable except under the following circumstances:

- 1) If the estimated volume of timber's, as described in ARTICLE I, value does not equal or exceed the 50% payment made by the BUYER to the SELLER, the difference between the value of the timber cut and removed, based upon scale tickets delivered to SELLER, and the 50% payment shall be refunded to the BUYER by the SELLER.
- 2) If a material breach by the SELLER prevents BUYER from harvesting and removing timber valued less than the 50% payment made by the BUYER to the SELLER, the difference between the value of the timber cut and removed, based upon scale tickets delivered to SELLER, and the 50% payment shall be refunded to the BUYER by the SELLER.

Following harvest equivalent to the initial 50% payment, the remainder will be due at the time of harvest on a per-unit basis. Payment is to be made to: The **Georgia Forestry Commission** and mailed, along with a cutting report and sales record recapping the timber types, weights and payment classifications, to GA-DNR WRD Forest Management Unit, 2065 US HWY 278 SE, Social Circle, GA 30025, Attn: Chris Roberts. **Reference sale ID# 11538 on all checks.** The per-unit payments will be made weekly, unless otherwise authorized by the SELLER.

2. Agrees to pay the SELLER a performance bond equal to \$_____ (10% of the estimated total sale value or \$5,000.00, whichever is greater) upon the execution of this CONTRACT. The performance bond will be returned to the BUYER less any damages as determined by the terms within this CONTRACT. The SELLER shall have up to sixty (60) days from the termination of this CONTRACT to inspect the property and account to the BUYER for any balance due it from said bond.
3. Agrees to harvest the entire sale area per within twelve (12) months of execution of this CONTRACT (the "CONTRACT PERIOD") unless wet weather prevents/delays harvest. If harvesting operations are delayed or suspended due to weather conditions, as determined by the SELLER, time lost will be added to the CONTRACT PERIOD. In the event the BUYER is unable to harvest within the CONTRACT PERIOD, as it may be extended by agreement or weather conditions, the BUYER will forfeit the performance bond.

Buyer's Initials _____	Seller's Initials _____
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4. Will prior to the execution of this CONTRACT, provide to the SELLER and GFC proof of Worker's Compensation insurance coverage for all his/her employees and/or his/her agent's employees who will be performing work and General Liability insurance with limits of one million dollars/two million dollar aggregate; such coverage to be maintained throughout the CONTRACT PERIOD.
5. Will repair to original condition or pay for cost of replacement, any damage caused by the BUYER, to fences, roads or other improvements of the SELLER.
6. Will maintain to Georgia Forestry BMP standards the five miles of dirt access road, owned by the landowners whose property it traverses, from Chalybeate Springs Road and ensure there are no issues with the owners to whom the road belongs.
7. Will adhere to the attached road access agreement (Exhibit "E") for the gated private property, the Hendricks Tract.
8. Will reimburse the SELLER for all costs borne by the SELLER and GFC in suppressing any wildfires or cost of wildfire damages incurred or caused by the BUYER or his/her agent upon lands subject to this CONTRACT.
9. Will indemnify, release, and hold the SELLER, the STATE OF GEORGIA, its various other units of government, its instrumentalities, and all officers, employees, and agents of the foregoing, harmless from and against all liabilities, damages, costs, expenses (including all attorney's fees and expenses incurred by them), causes of action, suits, demands, judgments, and claims of any nature whatsoever, arising from, by reason of or in connection with the operations hereunder; provided, however, no indemnitee shall be indemnified for the results of that indemnitee's sole negligence or, in the case of multiple negligence, for the share caused by the indemnitee's negligence.
10. Will remove all garbage, used lubricant, fuel, fluids and their containers daily, as a result of the BUYER's work involving this CONTRACT.

ARTICLE III. THE PARTIES MUTUALLY AGREE:

1. The following work specifications are applicable and will be adhered to by the BUYER unless changes are approved by the SELLER.
 - Timber Harvest Specifications
 - a. Standing trees will become the property of the BUYER once they are severed from the stump and appropriate compensation will be paid by the BUYER according to the terms of this CONTRACT.
 - b. Within the 54-acre thinning area of mixed pine and hardwood, trees marked in blue paint are to be left. The sale boundary is marked in blue paint.
 - c. Pine stumps shall be no more than six (6) inches above the original ground level or immediately above any butt swell, whichever is higher. Hardwood stumps shall be no more than eight (8) inches above the original ground level or immediately above any butt swell, whichever is higher.
 - d. Any merchantable pulpwood, logs or other forest products cut by the BUYER but not hauled off within four (4) weeks thereafter shall be scaled by the SELLER while observed by a representative of the BUYER and the BUYER shall be charged at the rate of one and one quarter (1.25) times the rate reflected in Article 2, condition 1, and charged against the performance bond described in Article 2, condition 2. In addition to the afore mentioned penalty, if this wood is still merchantable, the BUYER shall deliver it to market and shall pay the SELLER based on the product category

Buyer's Initials _____ Seller's Initials _____
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declared by the receiving mill and at the rates reflected in Article 2, condition 1.

- e. Excessive damage to residual trees will be compensated for by the BUYER. The BUYER shall be charged at the rate of three (3) times the rates reflected in Article 2, condition 1, and charged against the performance bond described in Article 2, condition 2. Excessive damage will be determined by the SELLER.
2. Wood Flow Accounting Procedures – The SELLER will provide the BUYER with load tickets which will operate as a security device and record for the timber cut under this CONTRACT. These load tickets will be subsequently numbered documents in multiple part forms. The BUYER will be responsible for completing the pertinent information on the form for each load, attaching one part (section 3) of the load ticket to the load of timber at the loading site, and depositing another part of the ticket (section 2) into a lock box at the site provided for by the SELLER. Section 1 of the load ticket will be kept in the ticket book by the BUYER. The BUYER shall have the loads weighed across any state certified or forest products industry scale, with the scale weight recorded on a written scale ticket. The BUYER shall attach (section 4) of the load ticket to the corresponding scale ticket for each week's deliveries, with a cutting report and sales record recapping the timber types, weights and payment classifications and shall be mailed on a weekly basis to GA-DNR WRD Forest Management Unit 2065 US HWY 278 SE, Social Circle, GA 30025, Attn: Chris Roberts. Spot checks will be made by the SELLER or DNR in the field to make sure trailers are tagged properly. If the BUYER fails to produce load tickets and scale tickets that correspond to all load tickets used and deposited in the lock box, the BUYER shall pay the SELLER for each missing ticket at the rate of 24 tons of the highest value product in Article I. Any load tickets issued to the BUYER which are unused at completion of the sale must be returned to the SELLER. The BUYER is responsible for load tickets _____ through _____.
 3. If either party fails to cure any material breach (including, without limitation, failure to make a payment when due) within 30 days after written notice, the other party may suspend performance or terminate the Agreement and exercise any other legal rights or remedies.
 4. The SELLER and GFC reserves the right to perform periodic inspections to determine whether or not the terms of this CONTRACT are being achieved and to suspend operation when weather conditions may result in damage to the site, until conditions improve. Timber Harvest Inspection form is attached as Exhibit "D".
 5. The CONTRACT shall terminate when the BUYER receives a release of escrow letter from SELLER stating timber harvest activities are satisfactorily completed or twelve (12) months from CONTRACT date, whichever first occurs, unless the CONTRACT is extended due to weather or the parties agree to an extension of time for removal of forest products covered under this CONTRACT.
 6. The BUYER will notify the SELLER at least two days prior to moving equipment onto the PROPERTY to commence logging operations and two days prior to completion of logging operations and removal of logging equipment.
 7. No oral statement by any person shall be allowed to modify or change any written portion of this CONTRACT.
 8. Any designated forest products, harvested or un-harvested, which remain on the sale area at the date this CONTRACT terminates, remain the property of the SELLER.
 9. This CONTRACT shall not be assigned by the BUYER in whole or in part without the written consent of the SELLER. The SELLER shall approve, in writing, any new Buyer to the CONTRACT or any Buyer that is not named as the BUYER to this CONTRACT.

Buyer's Initials _____	Seller's Initials _____
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10. The parties agree that this CONTRACT is subject to the authority of the Georgia Forestry Commission, pursuant to O.C.G.A 12-6-6, to manage State forest lands and to oversee the sale of timber and other forest products grown on such lands.
11. This CONTRACT shall be governed by and construed under the laws of the State of Georgia. The Superior Court of Fulton County shall have exclusive jurisdiction over any and all actions, suits, or other proceedings instituted to enforce the CONTRACT unless SELLER, in writing, decides that a different court has jurisdiction.

IN WITNESS WHEREOF, the parties have affixed signatures this _____ day of _____, 2024.

WITNESS: _____

BUYER: _____

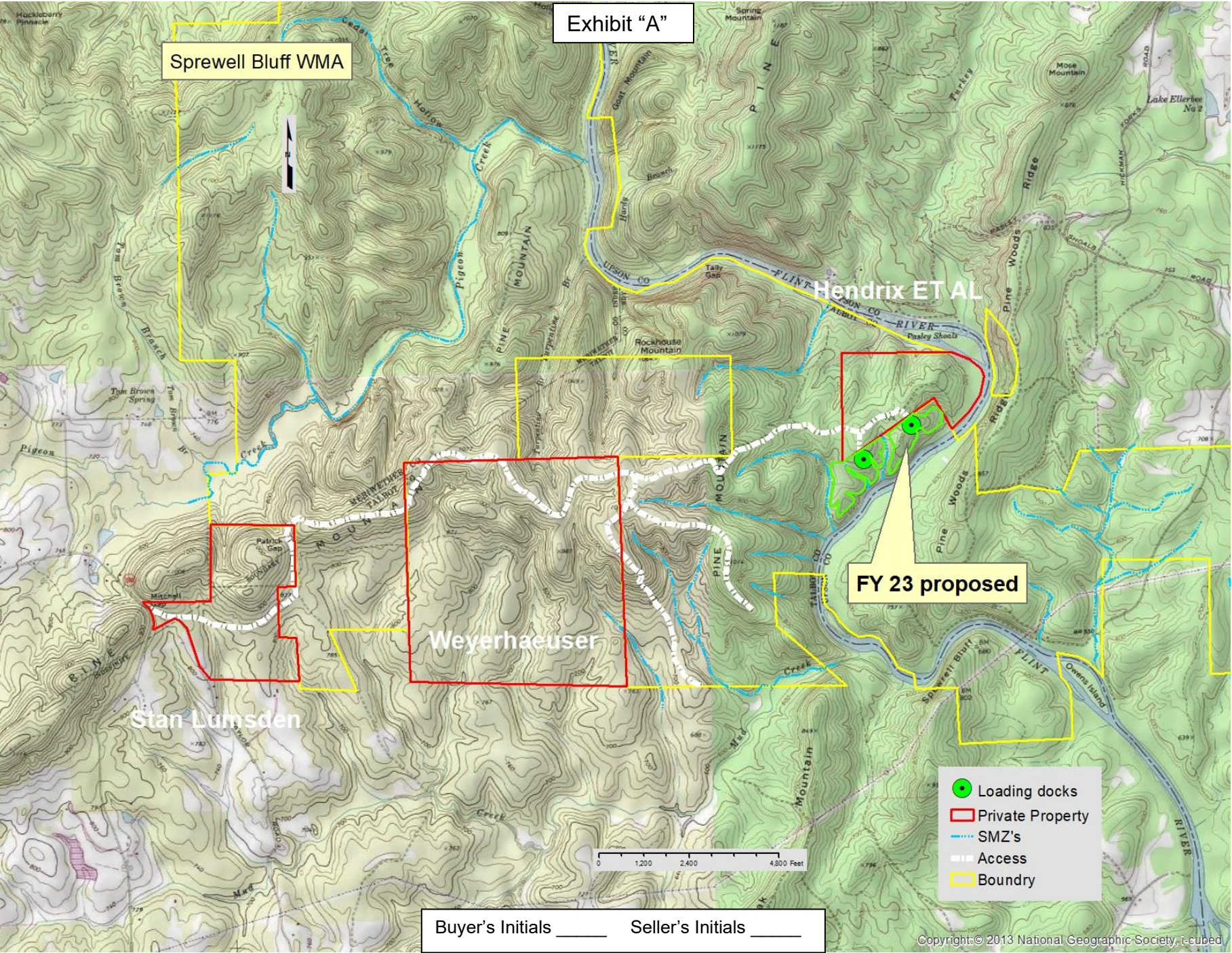
DATE: _____

WITNESS: _____

SELLER: _____

DATE: _____

Exhibit "A"



Sprewell Bluff WMA

Hendrix ET AL

Weyerhaeuser

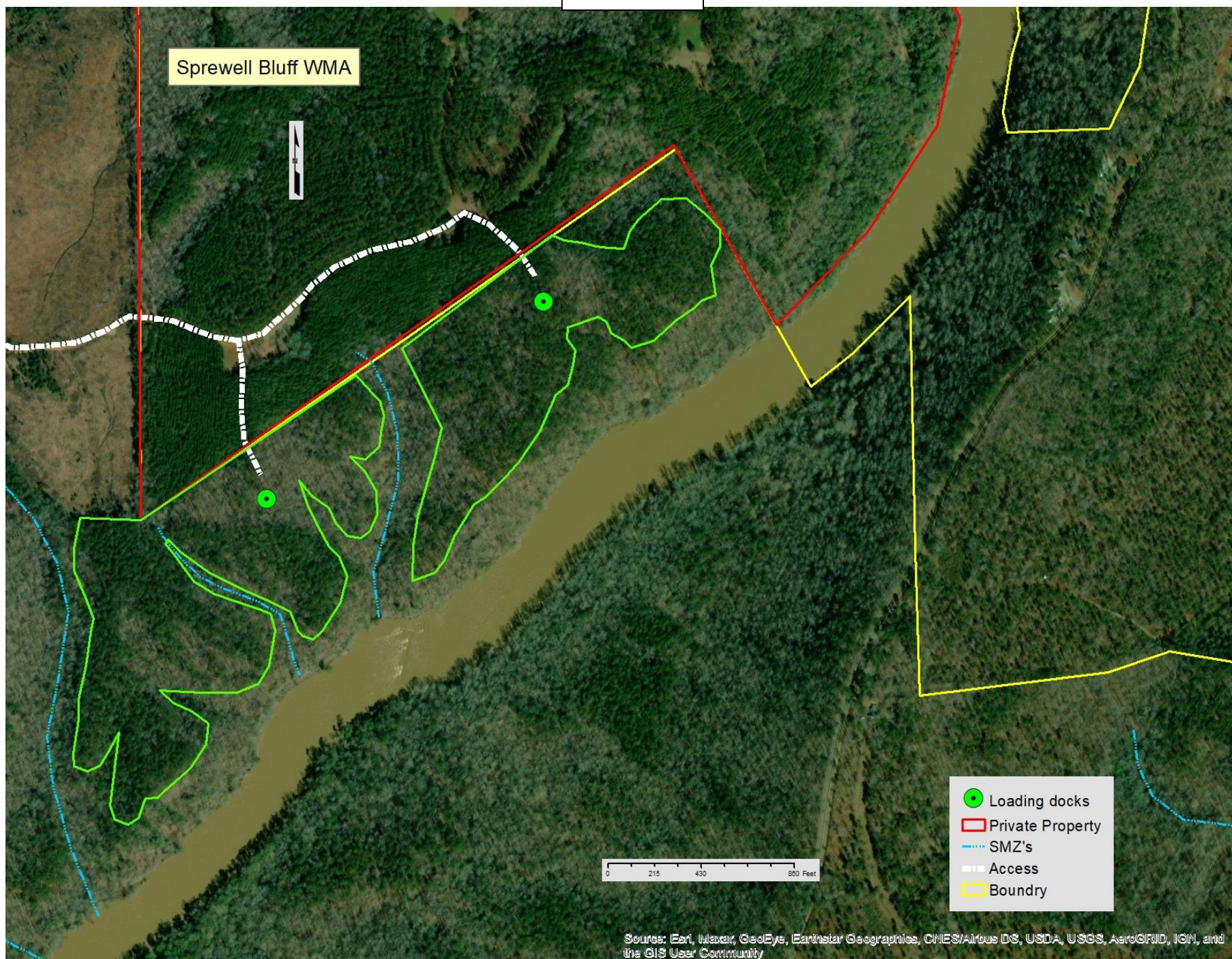
Stan Lumsden

FY 23 proposed

- Loading docks
- ▭ Private Property
- SMZ's
- - - Access
- ▭ Boundry

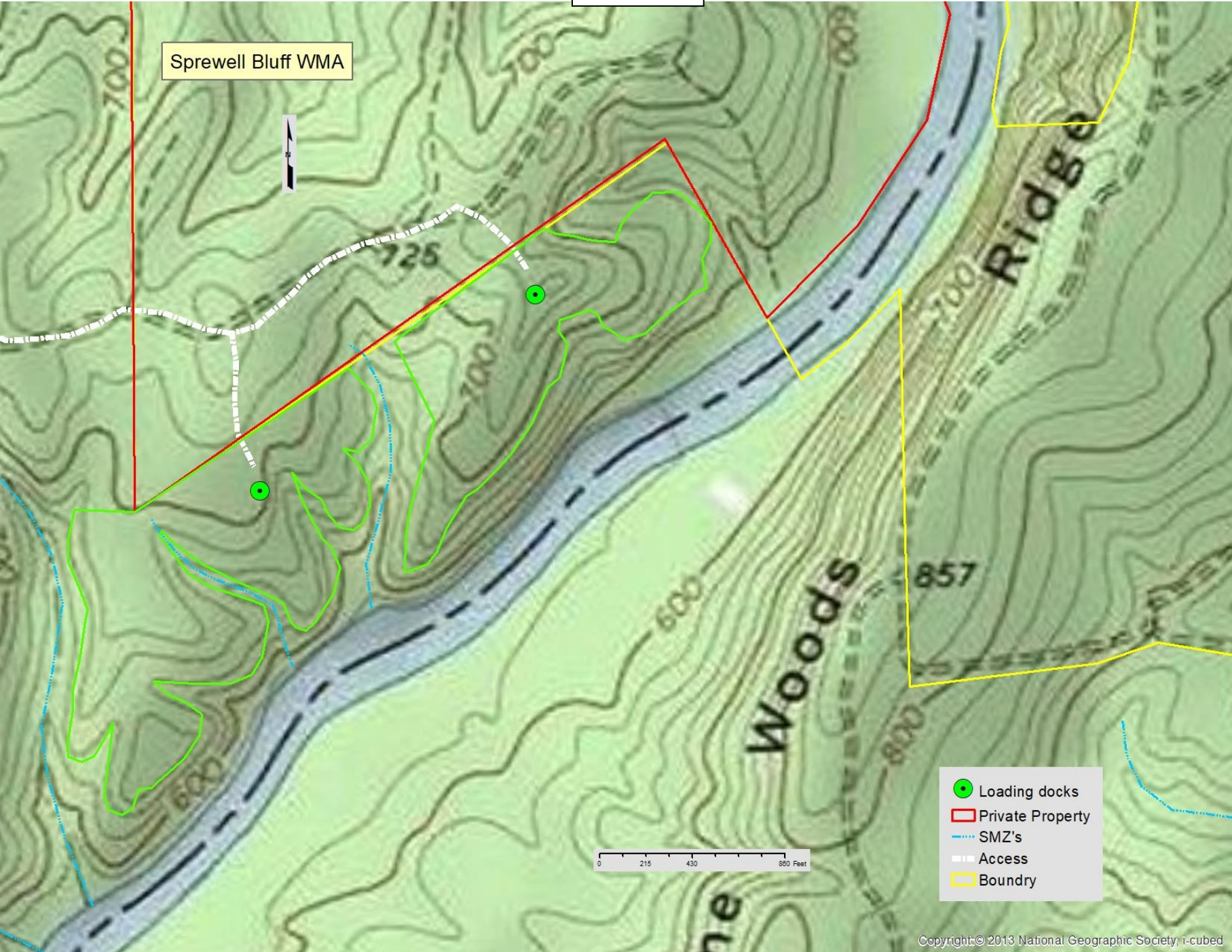
Buyer's Initials _____ Seller's Initials _____

Exhibit "B"



Buyer's Initials _____ Seller's Initials _____

Exhibit "C"



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Buyer's Initials _____ Seller's Initials _____

Exhibit "D"

Timber Harvest Inspection



Sale Name: _____
 Sale Type: _____
 Inspection Date: _____

Inspection Type:
 Weekly _____
 Final _____

	Yes	No	N/A	Follow-up	Date Completed
1 Safety					
A Operation being conducted in a safe manner	_____	_____	_____	_____	_____
2 Harvest					
A Stump heights acceptable	_____	_____	_____	_____	_____
B Satisfactory separation, utilization and trim of products	_____	_____	_____	_____	_____
C No excessive damage to residual trees	_____	_____	_____	_____	_____
D All designated trees cut	_____	_____	_____	_____	_____
E Load tickets properly filled out, displayed and documented	_____	_____	_____	_____	_____
F Log decks properly located and stabilized	_____	_____	_____	_____	_____
G Harvest plan being followed	_____	_____	_____	_____	_____
3 Roads					
A Entrance to public roads comply with ordinances	_____	_____	_____	_____	_____
B Ditches, dips and water turnouts functioning	_____	_____	_____	_____	_____
C State and county roads free from mud and debris	_____	_____	_____	_____	_____
D Road shoulders undamaged by logging equipment	_____	_____	_____	_____	_____
E Roads properly maintained and stabilized	_____	_____	_____	_____	_____
4 Streamside Management Zones					
A If harvesting in SMZ, soil disturbance is avoided	_____	_____	_____	_____	_____
B Number of stream crossings minimized	_____	_____	_____	_____	_____
C Streams free of sedimentation, tops and debris	_____	_____	_____	_____	_____
D Stream crossings are properly installed and stabilized	_____	_____	_____	_____	_____
E Proper culvert size used	_____	_____	_____	_____	_____
F Timber removal from SMZ follows prescription or state BMP guidelines	_____	_____	_____	_____	_____
5 Best Management Practices					
A Chemical or petroleum product spills absent	_____	_____	_____	_____	_____
B Skid trails minimized and on contour or slope of <25%	_____	_____	_____	_____	_____
C Temporary roads and skid trails closed and stabilized	_____	_____	_____	_____	_____
D Temporary stream crossings removed if no longer in use	_____	_____	_____	_____	_____
E Logging decks in compliance with state BMPs	_____	_____	_____	_____	_____
F Road construction in compliance with state BMPs	_____	_____	_____	_____	_____
G Rutting in compliance with state BMPs	_____	_____	_____	_____	_____
H Trash properly disposed of	_____	_____	_____	_____	_____
6 Comments					

Inspecting Forester: _____ Date: _____
 Contractor Signature: _____ Date: _____

Buyer's Initials _____ Seller's Initials _____

Exhibit "E"

Private Property Access Agreement

To improve habitat, The Georgia Department of Natural Resources ("DNR") wants to conduct logging in Sprewell Bluff WMA ("WMA"). The most direct and efficient access to the WMA for logging is through properties owned by the Hendrix, Upchurch, Grubb, and Bixby families ("landowners"). This agreement, and exhibits which are incorporated into this agreement, are meant to define the terms of DNR's access to the WMA through the landowners' properties.

Landowners' Responsibilities:

- To allow DNR personnel and its contractors/loggers access to the properties through the existing gated access points during the bidding and harvesting process.
- Coordinate with DNR personnel and its contractors/loggers so that logging operations have access to the Landowners' roads as scheduled.
- Provide DNR with clear direction as it relates to the area of the properties that may be accessed with logging equipment.
 - This includes defining access roads and areas of the property that are considered not accessible to DNR and its contractors/loggers. This also may include planted fields that are regularly maintained by the landowners and not accessible by DNR.
 - It is anticipated that logging operations will be located away from buildings and structures on the landowners' properties. However, if the landowners want to restrict logging operations adjacent to buildings and structures, the restricted areas shall be clearly marked by landowners.
- Damage by logging operations shall be documented and presented to Matt Payne - 706-557-3350; Matt.Payne@dnr.ga.gov within 30 days of occurrence.

DNR's Responsibilities:

- DNR will clearly communicate the guidelines in this agreement with DNR personnel and contractors that will have access to the landowners' properties.
- DNR will clearly communicate with landowners, as outlined in Exhibit A, the logging schedule and access requests during the bidding and logging process.
- DNR will take precautions to ensure that its personnel and contractors/loggers do not access portions of the properties that are marked not accessible by landowners.
- After DNR has completed logging, any roads utilized for access to the WMA shall be in the same condition as it was at the beginning of the logging operation – as agreed to by both parties immediately prior to logging commencing - and compliant to Exhibit B. Landowners' roads will be repaired within one hundred twenty (120) days after logging is complete. Current status of the roads, the planned improvement of roads necessary for WMA access, and the plans for retirement of the improved roads are documented in Exhibit B. A map of the landowners' roads is in Exhibit C.

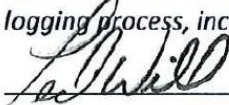
Buyer's Initials _____ Seller's Initials _____

Exhibit "E"
Continued

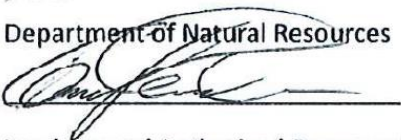
- DNR will use reasonable judgement while directing logging operations within the property boundaries. This responsibility will include providing subcontractors / loggers with guidance as it relates to the terms of this agreement established between the Landowner and DNR.

GADNR and the Landowners acknowledge that the State of Georgia, of which the GADNR is a part, has waived its sovereign immunity for the torts of GADNR's officers and employees while acting within the scope of their official duties or employment and that the State of Georgia shall be liable for such torts in the same manner as a private individual or entity would be liable under like circumstances in the use and exercise of the privileges granted by this Agreement; provided, however, that the State's sovereign immunity is waived subject to all of the exceptions and limitations set forth in the Georgia Tort Claims Act, O.C.G.A. § 50-21-20 et seq.

The authorized representatives of the parties represent that they have the right, power, and authority to enter into this Agreement and that no further approvals, permissions, or consents of any sort from any persons or entities are necessary for them to enter into this Agreement. *It is mutually agreed that this agreement will terminate two years from the date of the last signature hereto or when the scheduled logging process, including any necessary road repair, is complete, whichever first occurs.*



Department of Natural Resources



Landowners' Authorized Representative

7/25/23

Date

7/17/23

Date

Buyer's Initials _____ Seller's Initials _____

Exhibit "E"
Continued

Exhibit A

Conditions of Access to the landowners' property.

Access to the WMA and the landowners' property is through a locked gate. The combination for the gate is 1972. The gate is to be closed and locked each evening when logging operations cease and anytime the logging crew leaves the property.

It is incumbent upon DNR to clearly communicate schedules during the bidding and logging processes to the landowner. Thus, the timber buyer/logger should inform DNR and the Landowner 5 business days in advance to accessing of the Landowner's property to begin timber harvest operations.

Landowners contact information: (Primary) Keith Hendrix 706-741-3963, (Secondary) Ken Upchurch - 770-905-6023. Please contact Mr. Hendrix or Mr. Upchurch in advance of visiting the sale before the bid date.

Buyer's Initials _____ Seller's Initials _____

Exhibit "E"
Continued

Exhibit B

There are two short spur roads, which come off the main road and enter onto the property of the WMA.

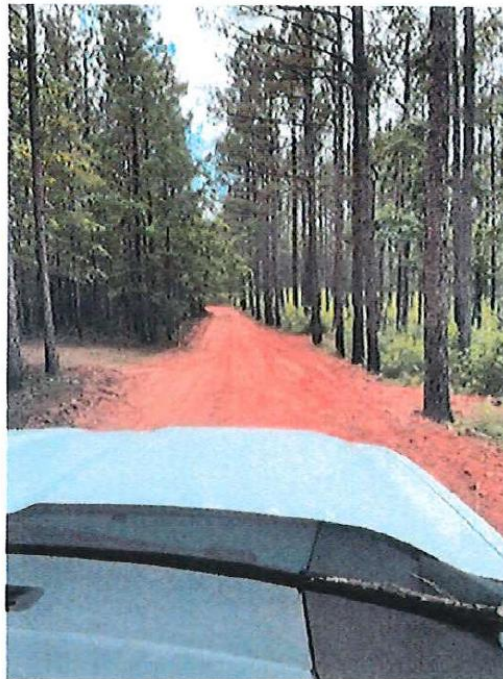
Spur Roads:

- The two spur roads are not in a condition in which log trucks can travel.
- The roads need to be pushed and limbed. There is a chance some trees will have to be removed to facilitate log truck traffic.
- Once timber operations are completed these roads will need to be disked and stabilized with the species of grass of the landowners choosing.
- The method of road retirement is of the choice of the landowner.
- The retirement of these two roads must be completed within 90 days from the date of the last load of timber being removed from the timber sale.

Main Road: The main road will be returned to its current condition except normal wear and tear.

Landowners' authorized representative and DNR will inspect and make the decision as to when the road is placed back in satisfactory condition.

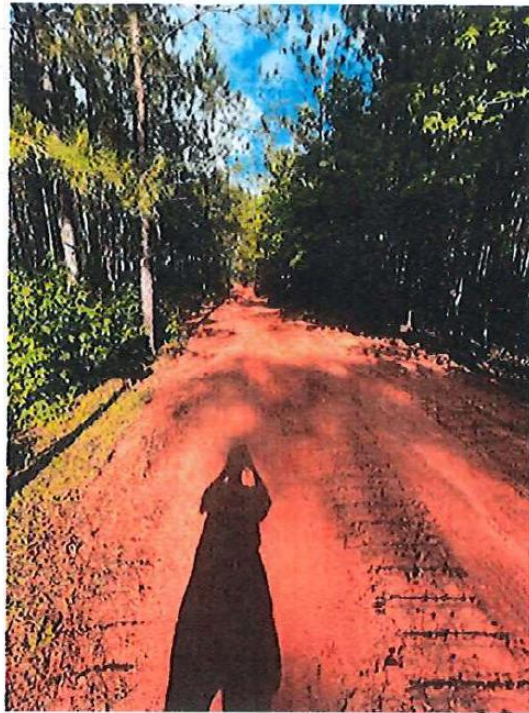
These areas of the road should be repaired in kind as illustrated in the attached photos. It is estimated that approximately 40 – 50 cubic yards (3 to 4 trucks) of gravel will be required to repair this section of road once graded. The gravel size shall be similar to current with sizes ranging 1" to 3"



Picture 1 – showing graded road with water turn offs prior to gravel application

Buyer's Initials _____ Seller's Initials _____

Exhibit "E"
Continued



Picture 2 – showing graded road crowned and sloped in appropriate areas prior to gravel application



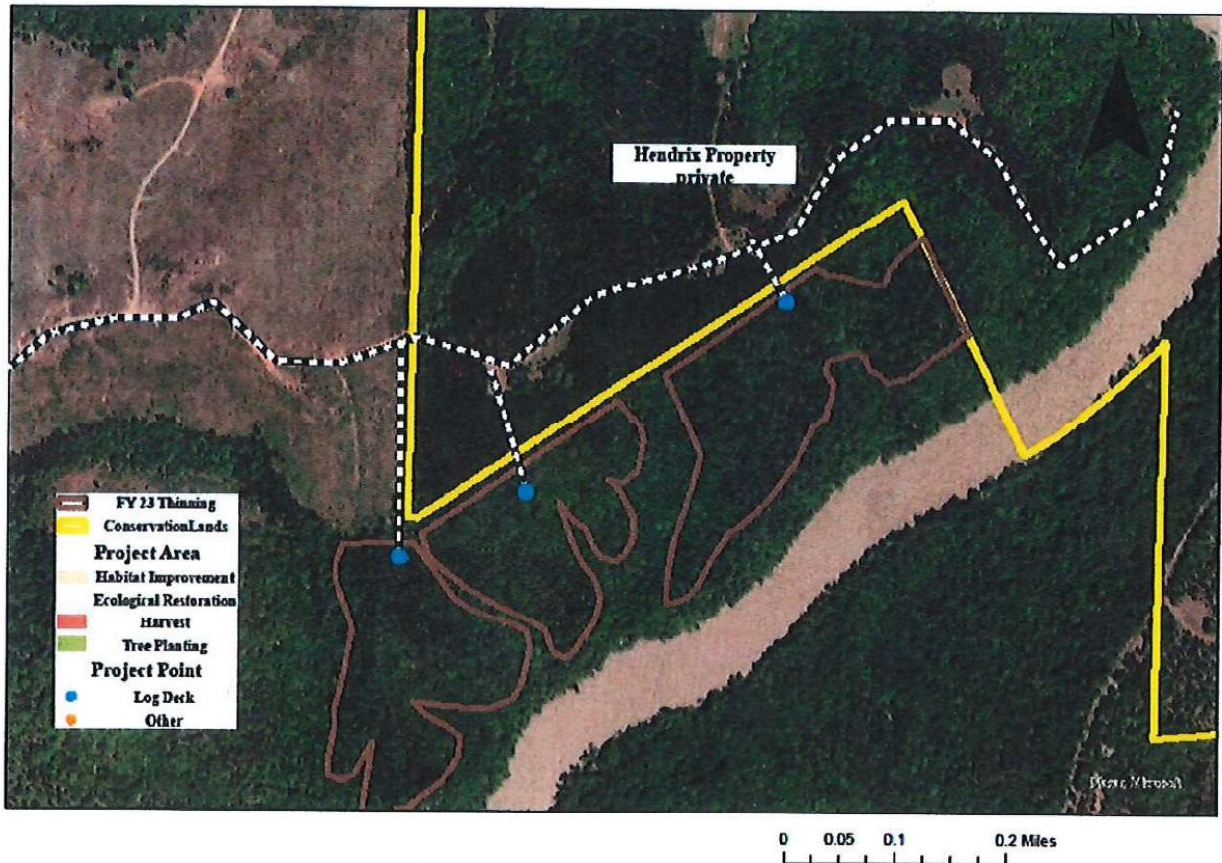
Picture 3 – showing gravel applied in high-traffic and sloped areas

Buyer's Initials _____ Seller's Initials _____

Exhibit "E"
Continued

Exhibit C

Sprewell Bluff WMA - Hendricks Timber Thin



Buyer's Initials _____ Seller's Initials _____